# TRILOGY HEALTH CARE OF HOLLY

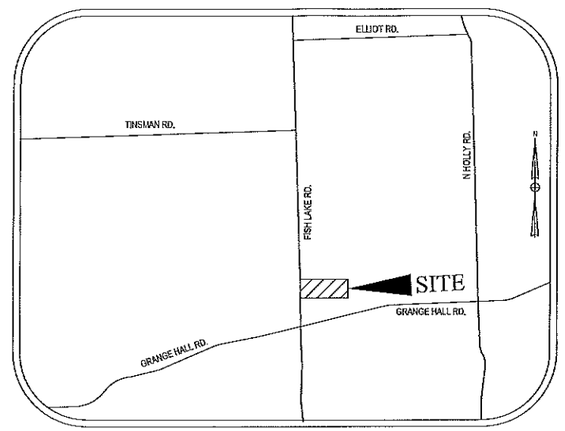
## HOLLY TOWNSHIP

## COUNTY OF OAKLAND, STATE OF MICHIGAN

### SITE DATA

| SITE SETBACKS | REQUIRED | PROVIDED |
|---|---|---|
| VILLA | 50 FT | 50 FT |
| CAMPUS | 100 FT | 100 FT |
| **RECREATION AREA SUMMARY** | | |
| REQUIRED RECREATION SPACE: 300 PER DWELLING UNIT<br>78 CAMPUS UNITS + 28 VILLA UNITS = 106 UNITS TOTAL<br>106*300 = 31,800 SF | | |
| PROVIDED RECREATION SPACE: (SEE ATTACHED ARCHITECTURAL PLAN) | | 52,781 SF |
| **SITE DENSITY** (MIN PARCEL SIZE) | 273,000 SF | |
| CAMPUS REQUIRED: 3000 SF PER BED: 91*3000 = 273000 SF / 43560 SF = 11.27 AC | | |
| CAMPUS BUILDING BEDS: 91<br>1-BED DUPLEXES: 12<br>2-BED DUPLEXES: 16 | | |
| 1-BED VILLA REQUIRED SF: 6000 PER UNIT: 6000*12 = 72000 SF<br>2-BED VILLA REQUIRED SF: 9000 PER UNIT: 9000*16 = 144000 SF<br>TOTAL REQUIRED SF: 273000+72000+144000 = 489000 SF = 11.23 AC | 11.23 AC | 13.70 AC |
| **PARKING SPACES** | | |
| CAMPUS BUILDING(SECTION 32-424.B.4)<br>1 PARKING SPACE PER 5 BEDS: 91 / 5 = 18.2 = 19 SPACES<br>1 PARKING SPACE PER EMPLOYEE: 40<br>TOTAL CAMPUS PARKING SPACES REQUIRED: 19+40 = 59 | 59 STALLS | 95 STALLS |
| + | + | + |
| VILLA BUILDINGS(SECTION32-424.A2)<br>2 PARKING SPACES FOR EACH VILLA DWELLING: 28*2 = 56 (GARAGE/DRIVEWAY)<br>1 PARKING SPACE PER EACH 10 VILLA DWELLING UNITS: 28 / 10 = 2.8 = 3 SPACES<br>TOTAL VILLA PARKING SPACES REQUIRED: 56 + 3 = 59 | 59 STALLS | 28 STALLS |
| | = | = |
| TOTAL PARKING SPACES REQUIRED: 59+ 59 = 118 | 118 STALLS | 123 STALLS |
| ADA PARKING SPACES REQUIRED: 5 | 5 STALLS | 11 STALLS |

PREPARED FOR
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222




VICINITY MAP
SCALE: 1" = 2000'

### LEGEND:

- EXISTING CHAIN LINK FENCE
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING CENTER LINE
- EXISTING OVERHEAD ELECTRIC LINE
- PROPOSED SANITARY SEWER
- PROPOSED WATERLINE
- PROPOSED STORM SEWER
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- CLEAN OUT
- FIRE HYDRANT
- WATER VALVE
- FIRE DEPARTMENT CONNECTION
- MANHOLE
- CATCH BASIN
- YARD DRAIN
- CURB INLET
- RIP RAP
- HALF-HEIGHT HEADWALL
- GENERATOR
- TRANSFORMER
- PROPOSED SLOPE INDICATOR
- RUNOFF FLOW DIRECTION
- PROPOSED CONTOURS
- SWALE CENTERLINE
- SOILS SURVEY
- WETLANDS
- PROPOSED PROPERTY LINE
- MATCHLINE
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT PER DETAIL
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT PER DETAIL
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT PER DETAIL
- STAMPED CONCRETE PAVEMENT PER ARCHITECT
- PAVEMENT STRIPING
- FIRE LANE
- CODED NOTE
- SIGN
- HANDI-CAP PARKING SYMBOL
- WHEEL STOP
- POLE MOUNTED SITE LIGHT
- STOP BAR
- PAVEMENT DIRECTIONAL ARROW
- PROPOSED FLAGPOLE
- SETBACK LINE
- PROPOSED WHITE VINYL FENCE

### INDEX OF CIVIL SHEETS


COVER SHEET ..... C000
CONSTRUCTION NOTES ..... TBD
BOUNDARY/TOPOGRAPHY SURVEY ..... C002-004
TYPICAL PAVEMENT SECTION/INTERSECTION DETAILS ..... C005
OVERALL PLAN ..... C200
SITE PLAN ..... C201-202
UTILITY PLAN ..... C300-301
GRADING PLAN ..... C400-401
POND DETAILS ..... C402
DUMPSTER ENCLOSURE DETAIL ..... C403
PHOTOMETRIC PLAN ..... C500-501
PHOTOMETRIC DETAILS ..... C502
LANDSCAPE PLAN ..... C600-601
LANDSCAPE DETAILS & NOTES ..... C602

TREE INVENTORY ..... C1001-1002


### UTILITY CONTACTS

SANITARY SEWERS
VILLAGE OF HOLLY

STORM SEWERS
HOLLY TOWNSHIP

WATER SERVICE
VILLAGE OF HOLLY

GAS SERVICE

CONSUMER ENERGY
530 W. WILLOW ST., LANSING, MI 48906
ATTN: HALEY M. FOWLER
810-247-3120

ELECTRIC COMPANY

CONSUMER ENERGY
530 W. WILLOW ST., LANSING, MI 48906
ATTN: HALEY M. FOWLER
810-247-3120

CABLE/COMMUNICATIONS

### BENCHMARKS

BENCHMARK 1

BENCHMARK 2

CP 1

CP 2

CP 3

CP 4

### EARTHWORK NOTE

PROPOSED GRADING SCHEME DEPICTED HEREIN DOES NOT REPRESENT A 'BALANCED' SITE. CONTRACTOR SHALL INCLUDE ALL NECESSARY LABOR AND MATERIAL TO IMPORT OR EXPORT TOPSOIL AND ENGINEERING FILL MATERIAL TO ACHIEVE PROPOSED GRADES.

### PROJECT CONTACTS


DEVELOPER
TRILOGY HEALTH SERVICES
303 N HURSTBOURNE PKWY., SUITE 200
LOUISVILLE, KY 40222
ATTN: JOE NAWROCKI
PHONE: 618-216-6019

ARCHITECT
UNIVERSAL DESIGN ASSOCIATES, INC.
910 MAIN STREET / P.O. BOX 99
FERDINAND, IN 47532
ATTN: JON SCHNARR
PHONE: 812-367-2831
FAX: 812-367-2401

CIVIL ENGINEER
THE MANNIK & SMITH GROUP, INC.
20600 CHAGRIN BLVD., SUITE 500
SHAKER HEIGHTS, OH 44122
ATTN: GREG SCHUNCK
PHONE: 216-378-1490


### REFERENCE DOCUMENTS

1. GEOTECHNICAL INVESTIGATION REPORT PREPARED BY MANNIK & SMITH GROUP, DATED MAY 2023
2. SURFACE WATER DELINEATION REPORT PREPARED BY MANNIK & SMITH GROUP, DATED MARCH 2023
3. EGLE WETLAND RESPONSE LETTER, DATED MAY 2023

3 FULL WORKING DAYS
BEFORE YOU DIG CALL
MISS DIG System
1-800-482-7171 or 811
Design Ticket #: _____
Survey Ticket #: _____

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 2023-05-14 | AGS | PLANNING COMMISSION SUBMITTAL |


20600 CHAGRIN BLVD
SUITE 500, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497


PROJECT DATE: 09/14/2023
PROJECT NO.: 7172/0011
DRAWN BY: DAB/JDG
CHECKED BY: GLS

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

TRILOGY HEALTH CARE OF HOLLY

COVER SHEET

C000

W:\Projects\Projects P-T\7172\0011\CIVIL\SE\C000_Cover Sheet.dwg - Last printed 8/11/2023 10:16 AM

# SURVEY OF EXISTING CONDITIONS FOR:
# VACANT LAND FISH LAKE ROAD, HOLLY, MI 48442

PART OF THE NORTHWEST 1/4, SECTION 28, T5N-R7E, HOLLY TOWNSHIP, OAKLAND COUNTY, MICHIGAN

## LEGAL DESCRIPTION (AS PROVIDED):

(PER TITLE POLICY PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 986012, DATED: FEBRUARY 21, 2023 8:00 AM)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE TOWNSHIP OF HOLLY, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:
THE NORTH 2452.20 FEET OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 5 NORTH, RANGE 7 EAST, MICHIGAN, EXCEPT THE EAST 198.00 FEET OF THE SOUTH 182.50 FEET; ALSO EXCEPT THE WEST 198.00 FEET OF THE NORTH 298.00 FEET OF THE SOUTH 864.50 FEET; ALSO EXCEPT THE EAST 280.00 FEET OF THE WEST 882.00 FEET OF THE NORTH 243.00 FEET; ALSO EXCEPT THE WEST 660.00 FEET OF THE SOUTH 330.00 FEET OF THE NORTH 959.00 FEET; ALSO EXCEPT BEGINNING AT THE NORTHWEST CORNER, THENCE EAST 602.00 FEET; THENCE SOUTH 301.00 FEET; THENCE NORTH 89 DEGREES 48 MINUTES 34 SECONDS WEST 601.55 FEET; THENCE NORTH 00 DEGREES 05 MINUTES 10 SECONDS WEST 299.00 FEET TO THE POINT OF BEGINNING; ALSO EXCEPT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 5 NORTH, RANGE 7 EAST, DESCRIBED AS, COMMENCING AT THE WEST 1/4 CORNER OF SECTION 28; THENCE NORTH ALONG THE SECTION LINE 854.00 FEET; THENCE EAST 198.00 FEET TO THE BEGINNING; THENCE SOUTH 100.00 FEET; THENCE EAST 30.00 FEET; THENCE NORTH 100.00 FEET; THENCE WEST 30.00 FEET TO THE POINT OF BEGINNING.

## LEGAL DESCRIPTION (AS SURVEYED):

COMBINATION OF PARCELS 01-28-101-013 AND 01-28-101-014

PART OF THE NORTHWEST QUARTER OF SECTION 28, T5N-R7E, HOLLY TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION; THENCE ALONG THE NORTH LINE OF SAID SECTION, S 89°32'02" E, 602.00 FEET; THENCE S 00°23'16" W, 243.00 FEET TO THE POINT OF BEGINNING; THENCE S 89°32'02" E 280.00 FEET; THENCE N 00°23'16" E, 243.00 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION; THENCE ALONG SAID NORTH LINE. S 89°32'02" E, 433.04 FEET; THENCE S 00°28'13" W, 2269.70 FEET; THENCE N 89°32'01" W, 198.00 FEET; THENCE S 00°28'13" W, 182.50 FEET; THENCE N 89°32'01" W, 1113.51 FEET TO THE WEST LINE OF SAID SECTION; THENCE CONTINUING ALONG SAID WEST LINE. N 00°23'16" E, 560.95 FEET; THENCE S 89°32'02" E, 228.00 FEET; THENCE N 00°23'16" E, 100.00 FEET; THENCE N 89°32'02" W, 30.15 FEET; THENCE N 00°25'01" E, 198.67 FEET; THENCE N 89°50'00" W, 197.95 FEET TO A POINT ON THE WEST LINE OF SAID SECTION; THENCE ALONG SAID WEST LINE, N 00°23'16" E, 634.61 FEET; THENCE S 89°32'02" E. 660.00 FEET; THENCE N 00°23'16" E, 330.00 FEET; THENCE N 89°32'02" W, 660.00 FEET TO A POINT ON SAID WEST LINE; THENCE ALONG SAID WEST LINE. N 00°23'16" E. 330.00 FEET; THENCE S 89°20'41" E. 602.00 FEET; THENCE N 00°23'16" E, 58.00 FEET TO THE POINT OF BEGINNING. CONTAINING 60.97 ACRES OF LAND. MORE OR LESS.

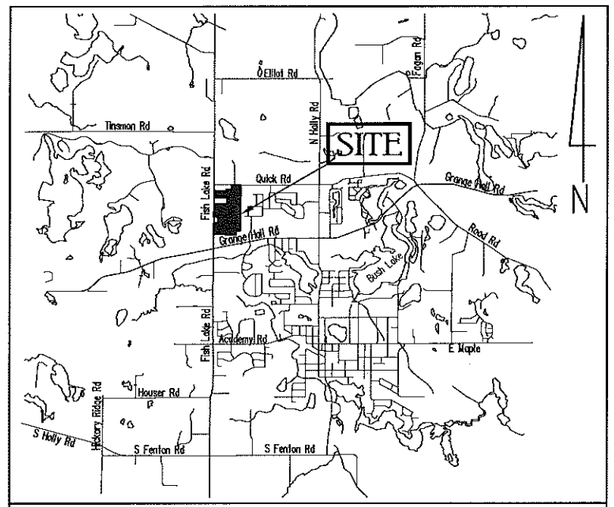
## LEGAL DESCRIPTION OF PARCEL 01-28-101-013:

PART OF THE NORTHWEST QUARTER OF SECTION 28, T5N-R7E, HOLLY TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION; THENCE ALONG THE NORTH LINE OF SAID SECTION, S 89°32'02" E, 602.00 FEET; THENCE S 00°23'16" W, 243.00 FEET TO THE POINT OF BEGINNING; THENCE S 89°32'02" E 280.00 FEET; THENCE N 00°23'16" E, 243.00 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION; THENCE ALONG SAID NORTH LINE. S 89°32'02" E, 433.04 FEET; THENCE S 00°28'13" W, 2269.70 FEET; THENCE N 89°32'01" W, 198.00 FEET; THENCE N 42°30'17" W, 196.72 FEET; THENCE N 10°10'53" W, 68.71 FEET; THENCE N 32°51'09" W, 81.21 FEET; THENCE N 32°04'56" E, 161.22 FEET; THENCE N 17°32'08" E, 112.46 FEET; THENCE N 70°42'34" W, 81.21 FEET; THENCE N 35°31'48" W, 79.91 FEET; THENCE N 61°36'31" W, 149.99 FEET; THENCE S 38°40'47" W, 165.02 FEET; THENCE S 58°41'49" W, 126.28 FEET; THENCE S 71°47'42" W, 76.58 FEET; THENCE S 82°21'54" W, 76.18 FEET; THENCE N 89°32'18" W, 198.77 FEET; THENCE N 00°23'16" E, 24.64 FEET; THENCE N 89°32'02" W, 30.15 FEET; THENCE N 00°25'01" E, 198.67 FEET; N 89°50'00" W, 197.95 FEET TO A POINT ON THE WEST LINE OF SAID SECTION; THENCE ALONG SAID WEST LINE, N 00°23'16" E, 634.60 FEET; THENCE S 89°32'02" E. 660.00 FEET; THENCE N 00°23'16" E, 330.00 FEET; THENCE N 89°32'02" W, 660.00 FEET TO A POINT ON SAID WEST LINE; THENCE ALONG SAID WEST LINE. N 00°23'16" E. 330.00 FEET; THENCE S 89°20'41" E. 602.00 FEET; THENCE N 00°23'16" E, 58.00 FEET TO THE POINT OF BEGINNING. CONTAINING 44.88 ACRES OF LAND. MORE OR LESS.

## LEGAL DESCRIPTION OF PARCEL 01-28-101-014:

PART OF THE NORTHWEST QUARTER OF SECTION 28, T5N-R7E, HOLLY TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION; THENCE ALONG THE WEST LINE OF SAID SECTION, N 00°23'16" E, 192.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE. N 00°23'16" E, 560.95 FEET; THENCE S 89°32'02" E, 228.00 FEET; THENCE N 00°23'16" E, 75.36 FEET; THENCE S 89°32'18" E, 198.77 FEET; THENCE N 82°21'54" E, 76.18 FEET; THENCE N 71°47'42" E, 76.58 FEET; THENCE N 58°41 '49" E, 126.28 FEET; THENCE N 38°40'47" E, 165.02 FEET; THENCE S 61°36'31" E, 149.99 FEET: THENCE S 35°31'48" E, 79.91 FEET; THENCE S 70°42'34" E, 81.21 FEET; THENCE S 17°32'08" W, 112.46 FEET; THENCE S 32°04'56" W, 161.22 FEET; S 32°51'09" E, 81.21 FEET; THENCE S 10°10'53" E, 68.71 FEET; THENCE S 42°30'17" E, 196.72 FEET; THENCE S 00°28'13" W, 182.50 FEET; THENCE N 89°32'01" W, 1113.51 FEET TO THE POINT OF BEGINNING. CONTAINING 16.09 ACRES OF LAND, MORE OR LESS.

NORTH




LOCATION MAP

## EXISTING ZONING INFORMATION:

ACCORDING TO THE CURRENT HOLLY TOWNSHIP ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED SR (SUBURBAN RESIDENTIAL DISTRICT) AND RM-1 (MULTI-FAMILY RESIDENTIAL), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

SUBURBAN RESIDENTIAL DISTRICT (SR)
1) MINIMUM LOT AREA = 1.5 ACRES.
2) MINIMUM LOT WIDTH = 150 FEET
3) FRONT SETBACK = 40 FEET
4) SIDE SETBACKS = 15 FEET
5) REAR SETBACK = 50 FEET
6) MAXIMUM BUILDING HEIGHT = 30 FEET (2.5 STORIES)

MULTI-FAMILY RESIDENTIAL (RM-1)
1) MINIMUM LOT AREA = BASED ON GROSS SITE ACREAGE (SEE SECTION 32-98)
2) MINIMUM SETBACK FROM INTERNAL DRIVE = 30 FEET
MINIMUM DISTANCE BETWEEN BUILDINGS
3) SIDE/FRONT, SIDE/REAR = 40 FEET
SIDE/SIDE = 30 FEET
FRONT/FRONT, FRONT/REAR, REAR/REAR = 60 FEET
4 MAXIMUM BUILDING HEIGHT = 30 FEET (2.5 STORIES)

## FLOOD PLAIN NOTE:

THIS PROPERTY IS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26125C0142F WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

## SURVEYOR NOTES:

1. DATE OF LAST FIELD WORK: MARCH 29, 2023.

2. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).

3. REFERENCED A SURVEY BY W.J. ANGUS AND ASSOCIATES, JOB NO 02023, DATED MAY 3, 2006 AND RIVERSIDE NORTH, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1872.

## UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

## SCHEDULE B-II EXCEPTIONS

(PER TITLE POLICY PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 986012, DATED: FEBRUARY 21, 2023 8:00 AM)

(10) TERMS AND CONDITIONS CONTAINED IN AFFIDAVIT AND NOTICE OF LOCATION PANHANDLE EASTERN PIPELINE COMPANY FACILITIES AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 13911, PAGE 134, ASSIGNMENT, BILL OF SALE AND CONVEYANCE RECORDED IN LIBER 18162, PAGE 729, PARTIAL RELEASE OF EASEMENTS RECORDED IN LIBER 29547, PAGE 857, AGREEMENT REGARDING EASEMENT RECORDED IN LIBER 32679, PAGE 554. (DOES NOT AFFECT SUBJECT PARCEL)

(11) TERMS AND CONDITIONS CONTAINED IN DECLARATION OF EASEMENTS AND COVENANTS FOR COMMON FACILITIES OF THE RIVERSIDE COMMUNITY AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 36780, PAGE 674. (AFFECTS SUBJECT PROPERTY, AS SHOWN ON SURVEY)

(12) TERMS AND CONDITIONS CONTAINED IN DECLARATION OF EASEMENTS, CONDITIONS AND RESTRICTIONS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 37710, PAGE 148 AND LIBER 37949, PAGE 249. (AFFECTS SUBJECT PROPERTY, AS SHOWN ON SURVEY)

(13) TERMS AND CONDITIONS CONTAINED IN SANITARY SEWER EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 40956, PAGE 460. (AFFECTS SUBJECT PROPERTY, AS SHOWN ON SURVEY)

(14) ANY RIGHTS, TITLE INTEREST OR CLAIM THEREOF TO THAT PORTION OF THE LAND TAKEN, USED OR GRANTED FOR STREETS, ROADS OR HIGHWAYS. (AS SHOWN ON SURVEY)

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (EXCL. FEES FOR THE LOCATION OF UNDERGROUND FACILITIES)

811 Know what's below. Call before you dig.

STATE OF MICHIGAN JASON PAUL WHITE License No. 4001055012 PROFESSIONAL SURVEYOR

| | | | | | |
|---|---|---|---|---|---|
| SCALE: NONE | OWNER/DEVELOPER: TRILOGY REAL ESTATE HOLLY, LLC 303 NORTH HURSTBOURNE PRKWAY, STE 200 LOUISVILLE, KY 40222 | PART OF THE NORTHWEST 1/4, SECTION 28, T5N-R7E HOLLY TWP, OAKLAND CO, MI | Fenton Land Surveying & Engineering, Inc 14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430 PHONE: 810.354.8115 EMAIL:INFO@FENTONLSE.COM | SURVEY OF EXISTING CONDITIONS FOR: THE MANNIK & SMITH GROUP, INC. SHAKER HEIGHTS, OHIO | REVISIONS |
| JOB NO. 23-147 | | | | | |

| | | | |
|---|---|---|---|
| DRN. BY: | D.S.S. | 05.04.2023 | SHEET NO: |
| DSN BY: | J.R.B. | " | 1 of 3 |
| CHK'D BY: | J.P.W. | " | |
| APPR BY: | J.P.W. | " | |

# SURVEY OF EXISTING CONDITIONS FOR:
# VACANT LAND FISH LAKE ROAD, HOLLY, MI 48442

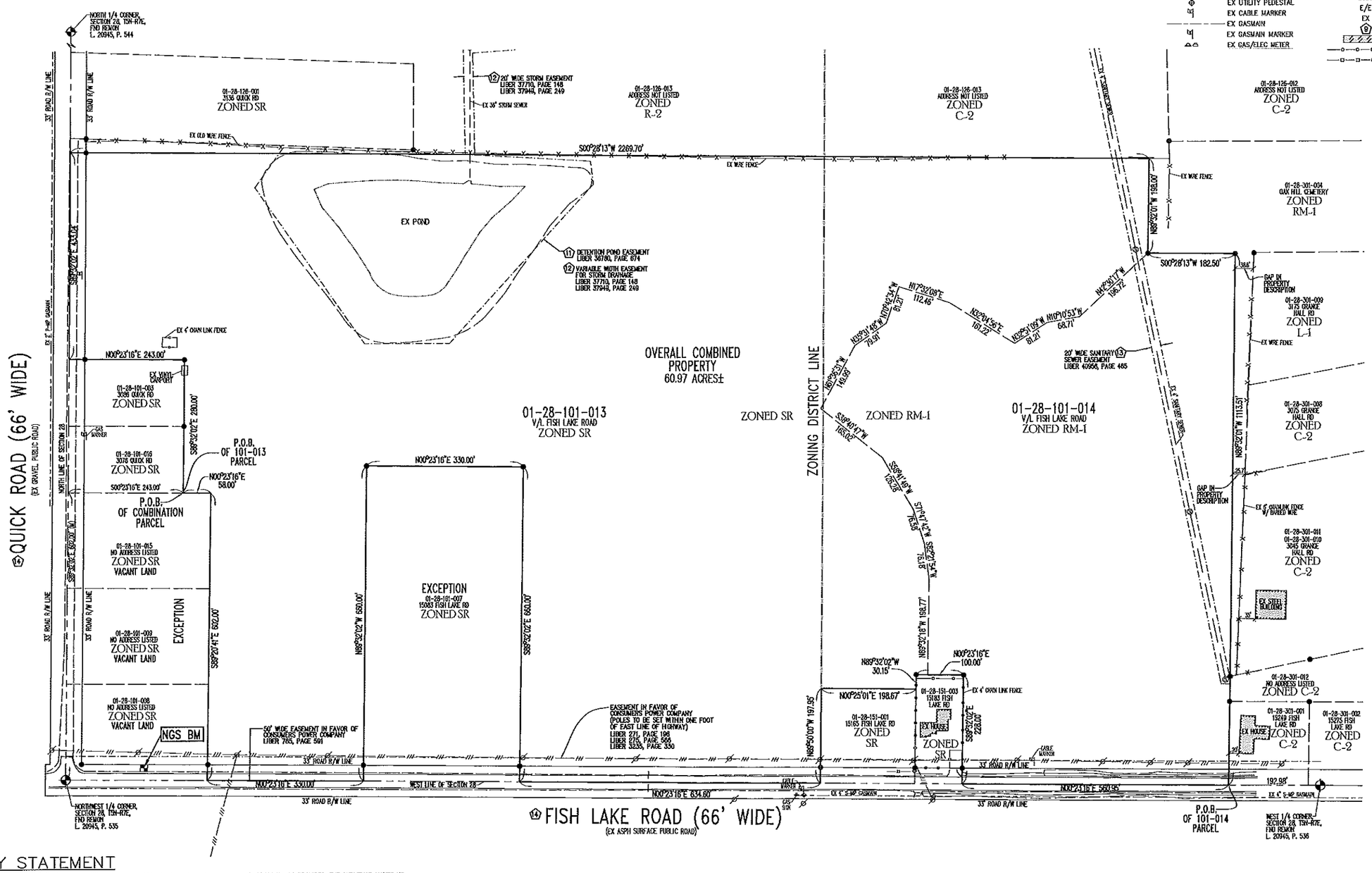
PART OF THE NORTHWEST 1/4, SECTION 28,
T5N-R7E, HOLLY TOWNSHIP,
OAKLAND COUNTY, MICHIGAN

NORTH

GRAPHIC SCALE
100 0 50 100
( IN FEET )
1 inch = 100 ft.

## LEGEND

- SET IRON W/CAP NO. 55012
- FOUND IRON
- FOUND CONCRETE MONUMENT
- SECTION CORNER
- FOUND '+' IN CONCRETE
- (M) MEASURED
- (R) RECORDED
- FND FOUND
- EX UTILITY POLE W/GUY WIRE
- EX OVERHEAD POWERLINES
- EX UTILITY PEDESTAL
- EX CABLE MARKER
- EX GASMAIN
- EX GASMAIN MARKER
- EX GAS/ELEC METER
- EX STORM MANHOLE/CATCHBASIN
- EX SANITARY MANHOLE
- EX SANITARY CLEANOUT
- EX WATER WELL
- EX FIRE HYDRANT
- EX GATEVALVE
- BLDG BUILDING
- CONC CONCRETE
- ASPH ASPHALT
- ELEC ELECTRIC
- E/E EDGE TO EDGE
- EX EXISTING
- EASEMENT IDENTIFICATION NUMBER
- EX BUILDING AREA
- EX CHAIN LINK FENCE
- EX WOOD FENCE




## UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS AS PROVIDED. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

STATE OF MICHIGAN
JASON PAUL WHITE
License No. 4001055012
PROFESSIONAL SURVEYOR

| | | | | | |
|---|---|---|---|---|---|
| SCALE: 1"=100' | OWNER/DEVELOPER: TRILOGY REAL ESTATE HOLLY, LLC 303 NORTH HURSTBOURNE PRKWAY, STE 200 LOUISVILLE, KY 40222 | PART OF THE NORTHWEST 1/4, SECTION 28, T5N-R7E HOLLY TWP, OAKLAND CO, MI | Fenton Land Surveying & Engineering, Inc 14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430 PHONE: 810.354.8115 EMAIL:INFO@FENTONLSE.COM | SURVEY OF EXISTING CONDITIONS FOR: THE MANNIK & SMITH GROUP, INC. SHAKER HEIGHTS, OHIO | REVISIONS |
| JOB NO. 23-147 | | | | | |

| | | | |
|---|---|---|---|
| DRN. BY: | D.S.S. | 05.03.2023 | SHEET NO: |
| DSN BY: | J.R.B. | " | 2 of 3 |
| CHK'D BY: | J.P.W. | " | |
| APPR BY: | J.P.W. | " | |

# SURVEY OF EXISTING CONDITIONS PLAN:

## LEGAL DESCRIPTION (AS SURVEYED):

COMBINATION OF PARCELS 01-28-101-013 AND 01-28-101-014

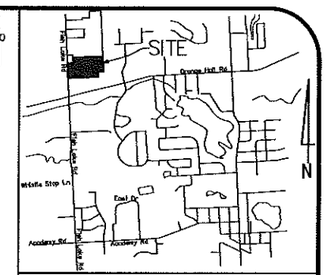
PART OF THE NORTHWEST QUARTER OF SECTION 28, T5N-R7E, HOLLY TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION; THENCE ALONG THE NORTH LINE OF SAID SECTION, S 89°32'02" E, 602.00 FEET; THENCE S 00°23'16" W, 243.00 FEET TO THE POINT OF BEGINNING; THENCE S 89°32'02" E 280.00 FEET; THENCE N 00°23'16" E, 243.00 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION; THENCE ALONG SAID NORTH LINE, S 89°32'02" E, 433.04 FEET; THENCE S 00°28'13" W, 2269.70 FEET; THENCE N 89°32'01" W, 198.00 FEET; THENCE S 00°28'13" W, 182.50 FEET; THENCE N 89°32'01" W, 1113.51 FEET TO THE WEST LINE OF SAID SECTION; THENCE CONTINUING ALONG SAID WEST LINE, N 00°23'16" E, 560.95 FEET; THENCE S 89°32'02" E, 228.00 FEET; THENCE N 00°23'16" E, 100.00 FEET; THENCE N 89°32'02" W, 30.15 FEET; THENCE N 00°25'01" E, 198.67 FEET; THENCE N 89°50'00" W, 197.95 FEET TO A POINT ON THE WEST LINE OF SAID SECTION; THENCE ALONG SAID WEST LINE, N 00°23'16" E, 634.61 FEET; THENCE S 89°32'02" E, 660.00 FEET; THENCE N 00°23'16" E, 330.00 FEET; THENCE N 89°32'02" W, 660.00 FEET TO A POINT ON SAID WEST LINE; THENCE ALONG SAID WEST LINE, N 00°23'16" E, 330.00 FEET; THENCE S 89°20'41" E, 602.00 FEET; THENCE N 00°23'16" E, 58.00 FEET TO THE POINT OF BEGINNING. CONTAINING 60.97 ACRES OF LAND. MORE OR LESS.

NORTH

GRAPHIC SCALE
60 0 30 60
( IN FEET )
1 inch = 60 ft.

**BENCHMARK NO. 1**
BENCH TIE SET IN WEST FACE OF POWER POLE, AS SHOWN
ELEVATION-956.72 (NAVD88)

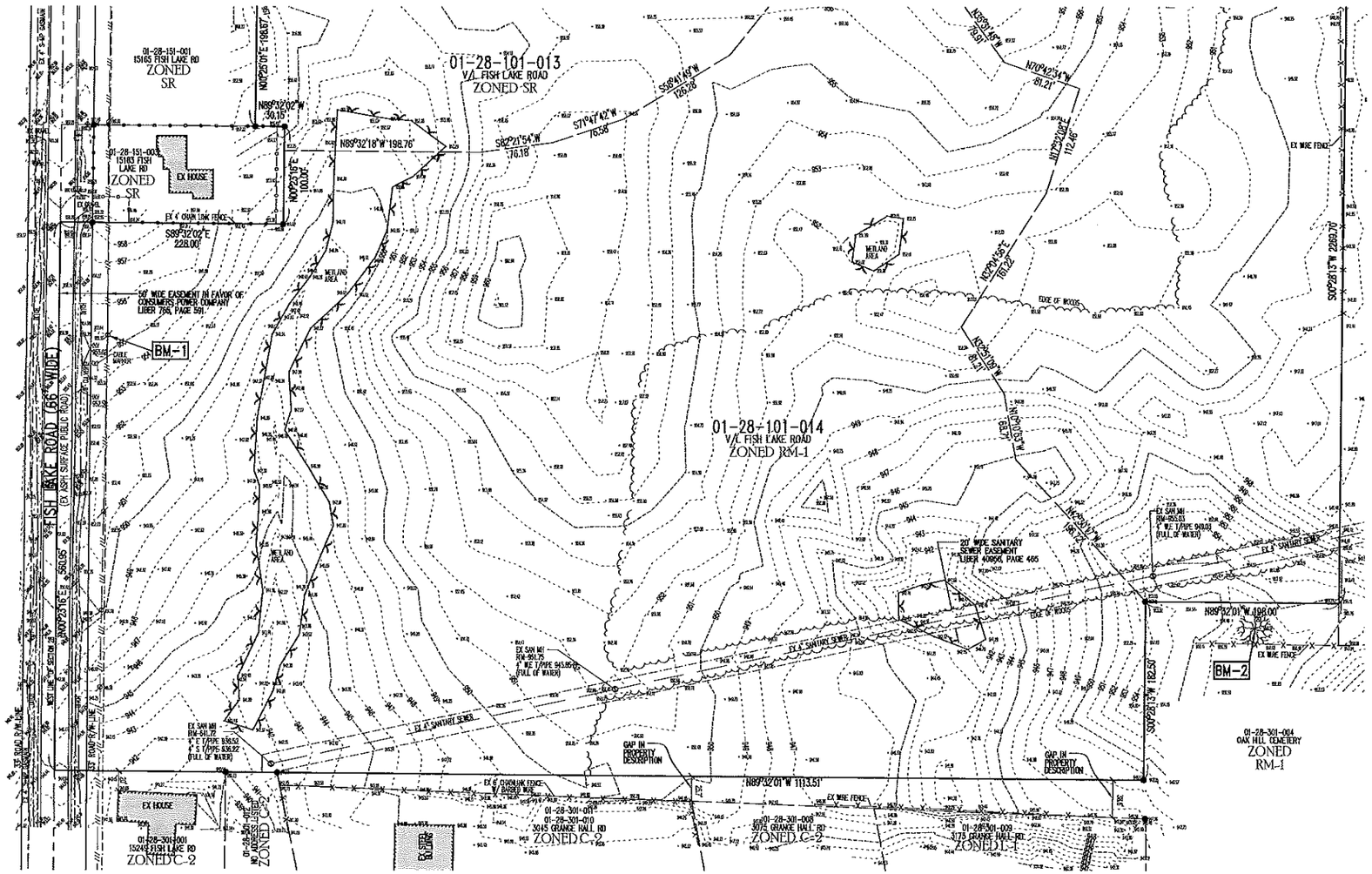
**BENCHMARK NO. 2**
BENCH TIE SET IN 20" TREE, AS SHOWN
ELEVATION-958.37 (NAVD88)




LOCATION MAP

## L E G E N D

| | |
|---|---|
| SET IRON #55012 | EX WATERMAIN |
| FOUND IRON | EX FIRE HYDRANT |
| FOUND CONCRETE MONUMENT | EX WATER MANHOLE |
| SCRIBE "X" IN CONCRETE | EX GATEVALVE |
| (M) MEASURED | EX WATER MARKER |
| (R) RECORDED | 958.39 EX SURFACE ELEVATION |
| FND FOUND | 952 EX SURFACE CONTOUR |
| EX UTILITY POLE W/GUY WIRE | (M) MEASURED |
| EX UTILITY POLE W/LIGHT | (R) RECORDED |
| EX LIGHT POLE | R/W RIGHT OF WAY |
| EX OVERHEAD POWERLINES | CONC CONCRETE |
| EX UTILITY PEDISTAL | ASPH ASPHALT |
| EX CABLE MARKER | EX EXISTING |
| EX ROAD SIGN | EX BUILDING AREA |
| EX MAILBOX | EX PAVEMENT AREAS |
| EX STORM MANHOLE/CATCHBAIN | EX CONC AREAS |
| EX STORM SEWER | |
| EX SANITARY MANHOLE | |
| EX SANITARY CLEANOUT | |
| EX SANITARY SEWER | |
| EX WATER WELL | |
| EX GASMAIN | |
| EX GASMAIN MARKER | |
| EX GAS/ELEC METER | |




## SURVEYOR NOTES:

1. DATE OF LAST FIELD WORK: MARCH 29, 2023.
2. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
3. REFERENCED A SURVEY BY W.J. ANGUS AND ASSOCIATES, JOB NO 02023, DATED MAY 3, 2006.

## UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

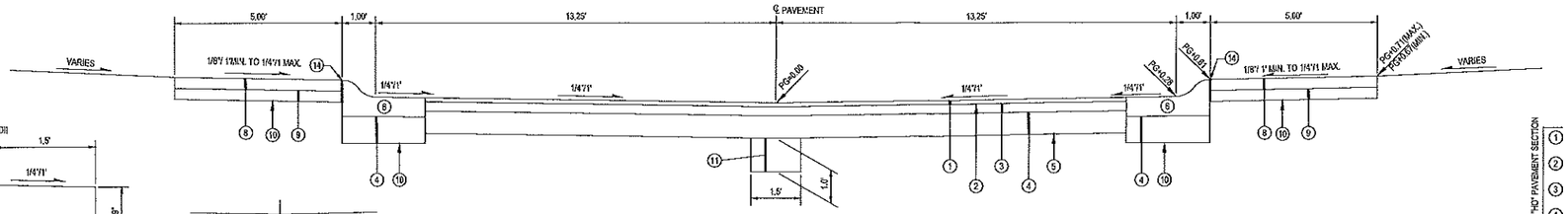
3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (ALL FREE FOR THE LICENSED OF INCORPORATED FEILDS)

811 Know what's below. Call before you dig.

STATE OF MICHIGAN JASON PAUL WHITE License No. 4001055012 PROFESSIONAL SURVEYOR

| | | | | | |
|---|---|---|---|---|---|
| SCALE: 1"=60' | OWNER/DEVELOPER: TRILOGY REAL ESTATE HOLLY, LLC 303 NORTH HURSTBOURNE PRKWAY, STE 200 LOUISVILLE, KY 40222 | PART OF THE NORTHWEST 1/4, SECTION 28, T5N-R7E HOLLY TWP, OAKLAND CO, MI | Fenton Land Surveying & Engineering, Inc 14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430 PHONE: 810.354.8115 EMAIL:INFO@FENTONLSE.COM | EXISTING CONDITIONS SURVEY FOR: THE MANNIK & SMITH GROUP, INC. SHAKER HEIGHTS, OHIO | REVISIONS |
| JOB NO. 23-147 | | | | | |

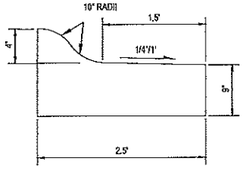
| | | | |
|---|---|---|---|
| DRN. BY: | J.R.B. | 05.03.2023 | SHEET NO: |
| DSN BY: | J.R.B. | " | 3 of 3 |
| CHK'D BY: | J.P.W. | " | |
| APPR BY: | J.P.W. | " | |



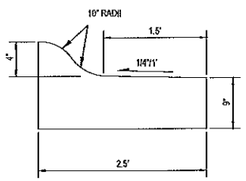

## TYPICAL ROADWAY SECTION

NOT TO SCALE

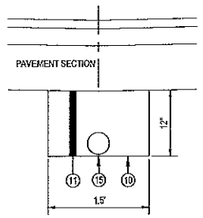
NOTES:
1. STREET "A" - STA. 9+22.98 TO STA. 6+57.07
2. STREET "B" - STA. 7+55.17 TO STA. 11+23.75
3. CAMPUS RING ROAD HAS SAME PAVEMENT SECTION, BUT DOES NOT FOLLOW ABOVE TYPICAL GRADING



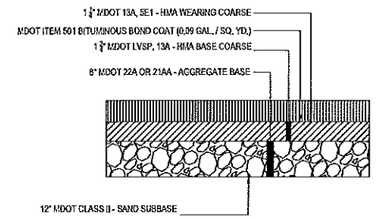

CONCRETE SPILL CURB & GUTTER DETAIL




CONCRETE CATCH CURB & GUTTER DETAIL

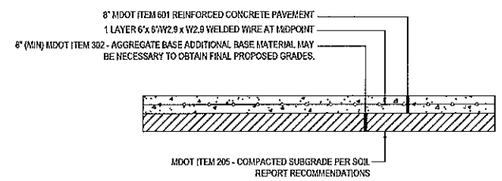



ROADWAY CENTER UNDERDRAIN DETAIL




## STANDARD DUTY ASPHALT PAVEMENT SECTION

SCALE: N.T.S.




NOTES:
1. CONTRACTOR SHALL INSTALL CONTROL AND EXPANSION JOINTS PER DETAIL.
2. NO SLAB DIMENSION MEASURED ALONG JOINT SHALL EXCEED 15'.
3. NO JOINTS SHALL BE PLACED CLOSER THAN 6' FROM ANY OTHER PARALLEL JOINT OR OF PAVEMENT.
4. ALL JOINTS ENDING AT A CURB SHALL BE EXTENDED THROUGH CURB.

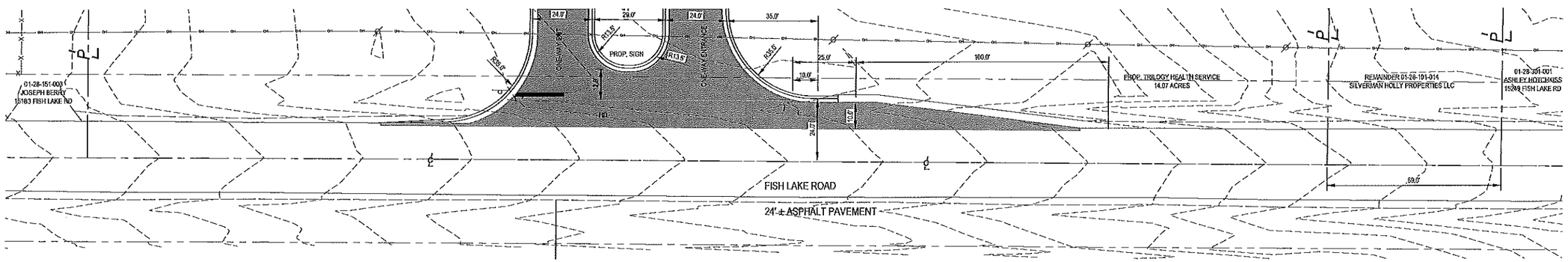
## HEAVY DUTY CONCRETE PAVEMENT SECTION

SCALE: N.T.S.

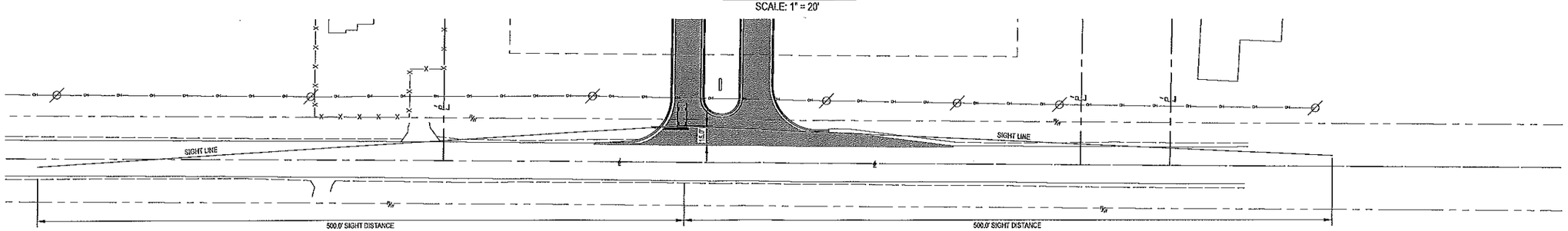
HEAVY DUTY "HD" PAVEMENT SECTION

## LEGEND

1. 1 ¾" MDOT 13A, SE1 - HMA WEARING COARSE
2. MDOT ITEM 501 BITUMINOUS BOND COAT (0.09 GAL. / SQ. YD.)
3. 2 ¾" MDOT LVSP, 13A - HMA BASE COARSE
4. 10" MDOT 22A OR 21AA - AGGREGATE BASE
5. MDOT ITEM 205 - COMPACTED SUBGRADE PER SOIL REPORT RECOMMENDATIONS
6. MDOT TYPE D CURB PER DETAIL SHEET R-30-G
7. 6" MDOT 22A OR 21AA - AGGREGATE BASE, STA. 00+00 TO STA. 00+00
8. 4" - 4,000 P.S.I. CONCRETE WALK
9. 5" MDOT 22A OR 21AA - AGGREGATE BASE
10. MDOT ITEM 205 - COMPACTED SUBGRADE PER SOIL REPORT RECOMMENDATIONS
11. MDOT NO. 57 STONE - AGGREGATE UNDERDRAIN (SEE DETAILS)
12. NOT USED
13. NOT USED
14. JOINT SHALL BE SEALED WITH SELF LEVELING CAULK TO A MINIMUM OF 1" DEPTH
15. 4" HDPE PERFORATED UNDERDRAIN




ENTRANCE DRIVEWAY DETAIL
SCALE: 1" = 20'




ENTRANCE DRIVEWAY DETAIL
SCALE: 1" = 40'

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 2022/9/14 | JCG | PLANNING COMMISSION SUBMITTAL |


20000 CHAGRIN BLVD
SUITE 500, SHAKER
TEL: 216.378.1400
FAX: 216.378.1437


PROJECT DATE: 09/14/2022
PROJECT NO: T17A0071
DRAWN BY: DAB/JCG
CHECKED BY: GLS

TECHNICAL SKILL. CREATIVE SPIRIT.

Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:

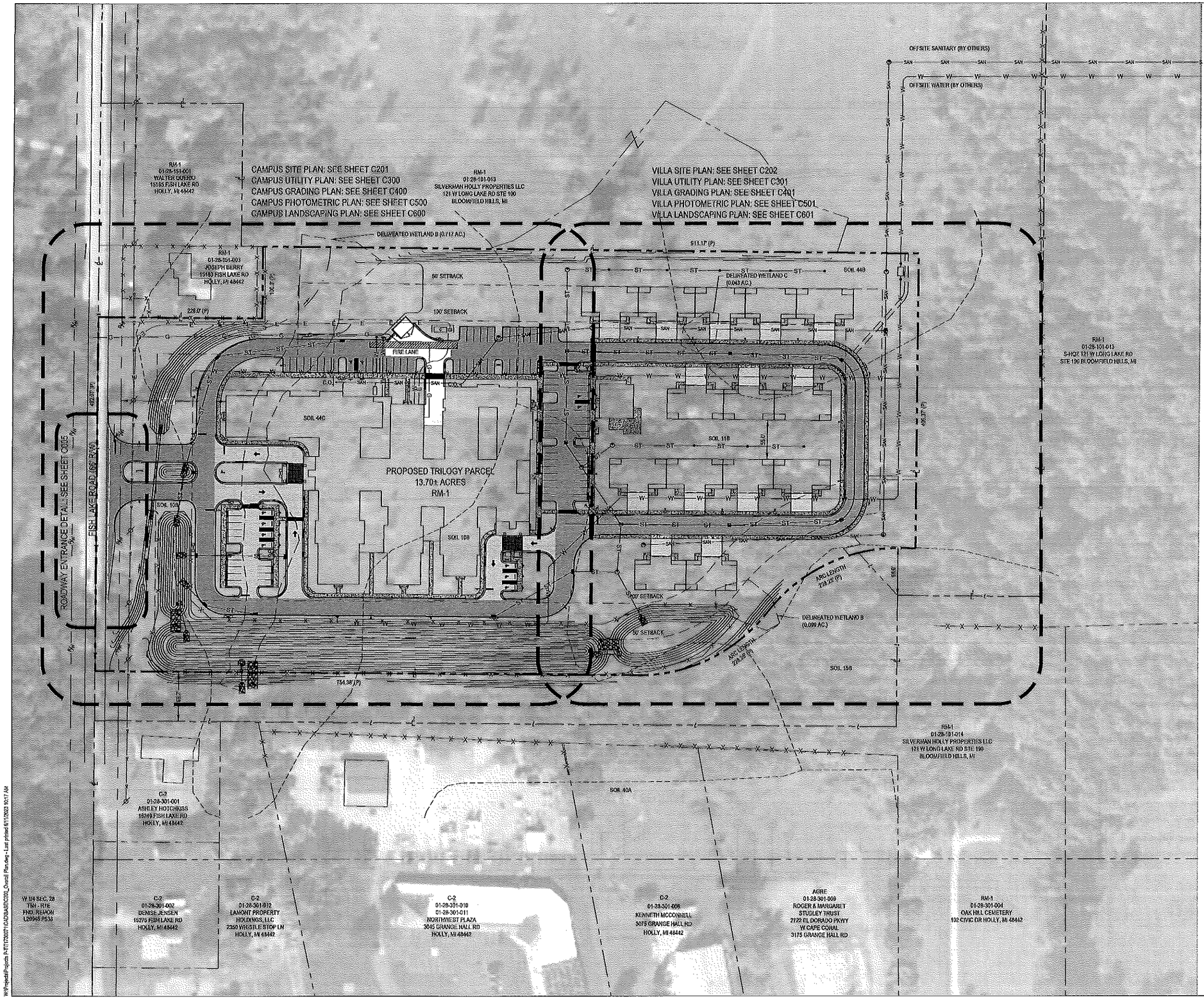
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

TRILOGY HEALTH CARE OF HOLLY

TYPICAL PAVEMENT SECTION & INTERSECTION DETAILS

C005

W:\Projects\Projects P-T\T17\0071\CIVIL\ASSCIVIL_Typical Pavement Section & Intersection Details.dwg - Last printed 9/14/2022 10:17 AM




## LEGEND OF SOILS

10B - MARLETTE SANDY LOAM

11B - CAPAC SANDY LOAM

15B - SPINKS LOAMY SAND

40A - UDORTHENTS, LOAMY

44B - RIDDLES SANDY LOAM (1-6%)

44C - RIDDLES SANDY LOAM (6-12%)

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 2022/08/14 | JJOG | PLANNING COMMISSION SUBMITTAL |


20800 CHAGRIN BLVD
SUITE 500, SHAKER HEIGHTS, OH 44122
PH: 216.378.1495
FAX: 216.378.1497


PROJECT DATE: 08/14/2022
PROJECT NO. T1734071
DRAWN BY: DABJJOG
CHECKED BY: GLS

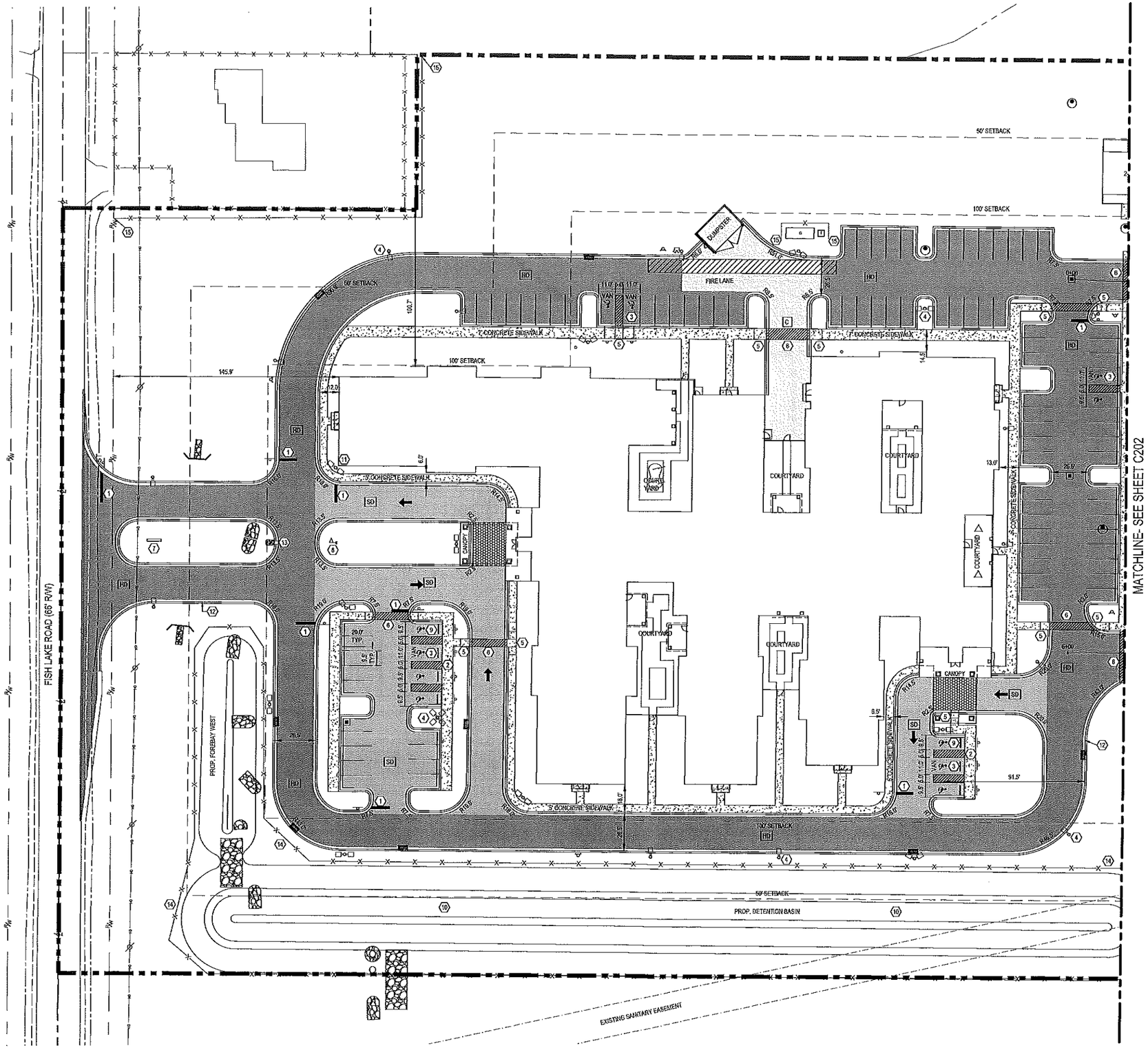
Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

TRILOGY HEALTH CARE OF HOLLY

# OVERALL PLAN

C200




30 15 0 30 60
1"=30'

## GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL FACE-OF-CURB RADII ARE 4'
2. THE WIDTH OF THE SIDEWALK WILL BE EITHER 5' OR 7' DEPENDING ON WALK LOCATION RELATIVE TO THE PARKING LOT

## CODED NOTES

(1) PROPOSED STOP SIGN AND STOP BAR.

(2) PROPOSED ZERO FACE CURB.

(3) PROPOSED ADA ACCESSIBLE PAVEMENT MARKINGS AND SIGN. SIGN FOR VAN ACCESSIBLE SPACE AS INDICATED IN LOCATION DESIGNATED WITH WORD 'VAN'.

(4) PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN)

(5) PROPOSED ADA RAMP.

(6) PROPOSED CROSSWALK, DIRECTIONAL ARROWS AND PARKING STALL STRIPING PER DETAIL.

(7) MONUMENT SIGN BY OTHERS, SEE ARCHITECTURAL PLANS FOR DETAILS, DIMENSIONS, FOUNDATION, STONE VENEER, AND UTILITY CONDUITS ARE INCLUDED IN THE RESPONSIBILITIES OF THE CONTRACTOR.

(8) PROPOSED FLAGPOLE. COORDINATE MAKE, MODEL, AND INSTALLATION WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.

(9) PROPOSED WHEEL STOPS.

(10) CONTRACTOR TO INSTALL FOUNTAINS IN DETENTION BASIN. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.

(11) PROPOSED STOP SIGN TO BE ATTACHED TO LIGHT POLE.

(12) BEGINNING/END OF 6" HIGH HEADER CURB.

(13) PROPOSED 2' CURB CUT.

(14) PROPOSED 3 RAIL WHITE VINYL FENCE AS REQUIRED PER OAKLAND COUNTY DRAIN COMMISSION GENERAL DETENTION BASIN REQUIREMENTS: "BASIN SIDE SLOPES MAY NOT EXCEED 1 FOOT VERTICAL TO 6 FEET HORIZONTAL FOR A WET BASIN OR BASINS WITH A PERMANENT WATER FEATURE, AND 1 FOOT VERTICAL TO 4 FEET HORIZONTAL FOR A DRY BASIN UNLESS FENCING IS PROVIDED. ADDITIONAL FENCING WILL BE REQUIRED AS NEEDED, DEPENDING UPON BASIN DEPTH, DEPTH OF PERMANENT POOL, ETC. REQUIREMENTS REGARDING FENCING WILL BE EVALUATED ON A CASE-BY-CASE BASIS."

(15) BEGINNING/END OF 6' TALL WHITE OPAQUE VINYL SCREEN FENCE

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1. | 2022/8/14 | JCG | PLANNING COMMISSION SUBMITTAL |


20600 CHAGRIN BLVD
SUITE 500, SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1492
FAX: 216.378.1497


PROJECT DATE: 08/14/2022
PROJECT NO: T1732071
DRAWN BY: DAB/JCG
CHECKED BY: GLS

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

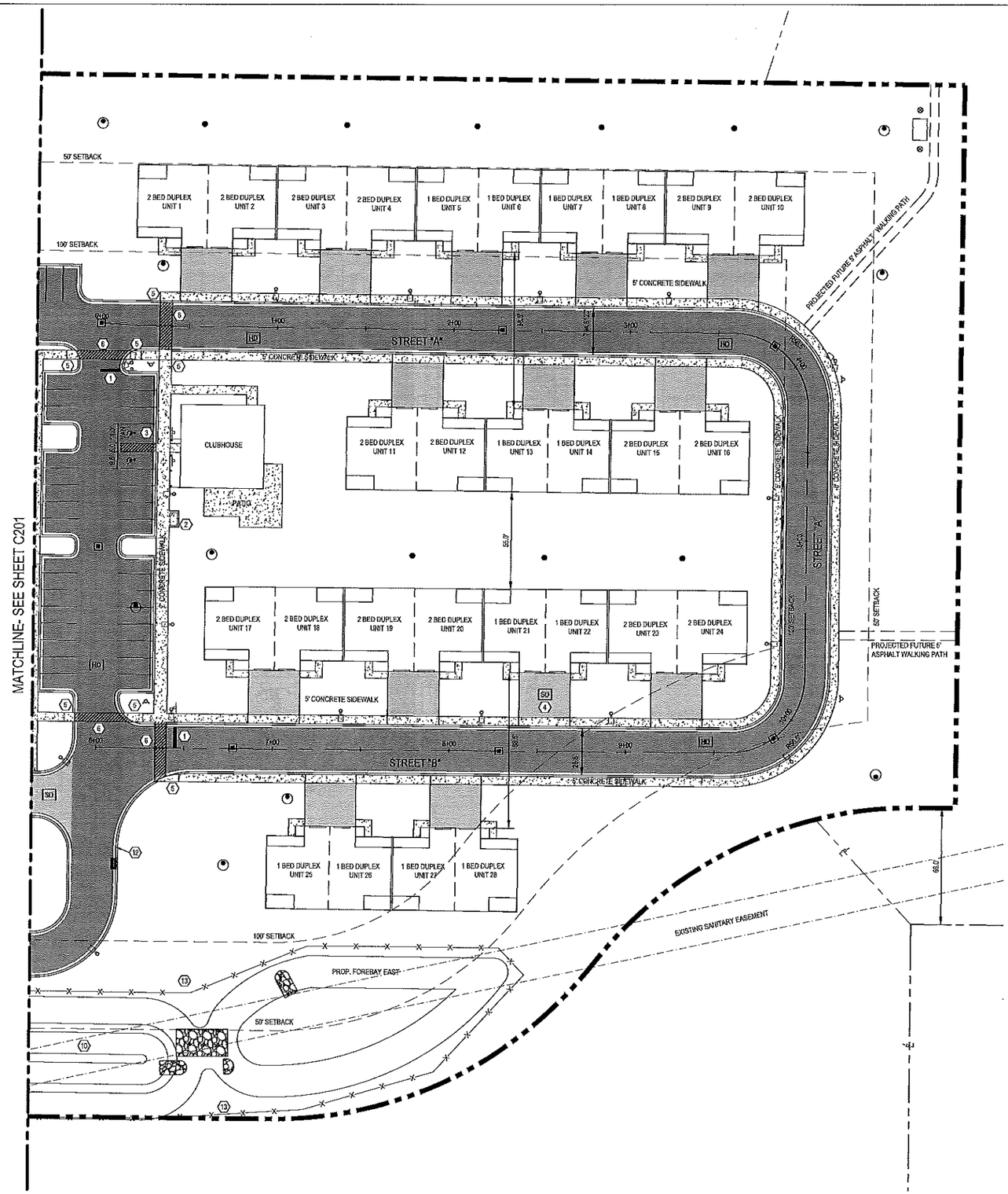
PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

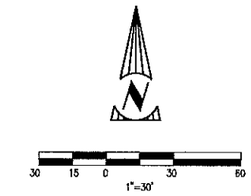
TRILOGY HEALTH CARE OF HOLLY

SITE PLAN
1 OF 2

C201

W:\Projects\Projects P-T\T1732071\CAD\BASE\C201_Site Plan.dwg - Last plotted 8/16/2022 10:17 AM




## GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL FACE-OF-CURB RADII ARE 4'
2. THE WIDTH OF THE SIDEWALK WILL BE EITHER 6' OR 7' DEPENDING ON WALK LOCATION RELATIVE TO THE PARKING LOT

## CODED NOTES

1. PROPOSED STOP SIGN AND STOP BAR.
2. PROPOSED CLUSTER MAILBOX.
3. PROPOSED ADA ACCESSIBLE PAVEMENT MARKING AND SIGN. SIGN FOR VAN ACCESSIBLE SPACE AS INDICATED IN LOCATION DESIGNATED WITH WORD "VAN".
4. PROPOSED VILLA DRIVEWAY TO BE STANDARD DUTY ASPHALT.
5. PROPOSED ADA RAMP.
6. PROPOSED CROSSWALK, DIRECTIONAL ARROWS AND PARKING STALL STRIPING PER DETAIL ON.
7. NOT USED.
8. NOT USED.
9. NOT USED.
10. CONTRACTOR TO INSTALL FOUNTAINS IN DETENTION BASIN. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.
11. NOT USED
12. BEGINNING/END OF 6" HIGH HEADER CURB.
13. PROPOSED 3 RAIL WHITE VINYL FENCE AS REQUIRED PER OAKLAND COUNTY DRAIN COMMISSION GENERAL DETENTION BASIN REQUIREMENTS: "BASIN SIDE SLOPES MAY NOT EXCEED 1 FOOT VERTICAL TO 5 FEET HORIZONTAL FOR A WET BASIN OR BASINS WITH A PERMANENT WATER FEATURE, AND 1 FOOT VERTICAL TO 4 FEET HORIZONTAL FOR A DRY BASIN UNLESS FENCING IS PROVIDED. ADDITIONAL FENCING WILL BE REQUIRED AS NEEDED, DEPENDING UPON BASIN DEPTH, DEPTH OF PERMANENT POOL, ETC. REQUIREMENTS REGARDING FENCING WILL BE EVALUATED ON A CASE-BY-CASE BASIS."

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 20220314 | JCG | PLANNING COMMISSION SUBMITTAL |


20600 CHAGRIN BLVD
SUITE 500, SHAKER HEIGHTS, OH 44122
PH: 216.378.1490
FAX: 216.378.1495


PROJECT DATE: 03/14/2022
PROJECT NO.: T17200711
DRAWN BY: DAB/JCG
CHECKED BY: GLS


Mannik Smith GROUP
TERRIMAL HILL CREATIVE SPACE
www.MannikSmithGroup.com


PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
309 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

TRILOGY HEALTH CARE OF HOLLY

SITE PLAN 2 OF 2

C202

W:\Projects\Projects F-T\T17200711\CAD\BASE\C201-C202_Site Plan.dwg - Last plotted 3/11/2022 10:17 AM

## CODED NOTES

1. CONTRACTOR SHALL INSTALL FIRE HYDRANT PER TWP. CODE.
2. CONTRACTOR SHALL INSTALL GREASE TRAP PER DETAIL.
3. PROPOSED ELECTRICAL TRANSFORMER. CONTRACTOR SHALL PROVIDE ALL NECESSARY COORDINATION FOR SCHEDULING AND INSTALLATION OF ELECTRICAL SERVICES.

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 20220914 | JCG | PLANNING COMMISSION SUBMITTAL |

25500 CHAGRIN BLVD
SUITE 500, SHAKER HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497

PROJECT DATE: 08/14/2023
PROJECT NO.: T1723071
DRAWN BY: DAB/JCG
CHECKED BY: GLS

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

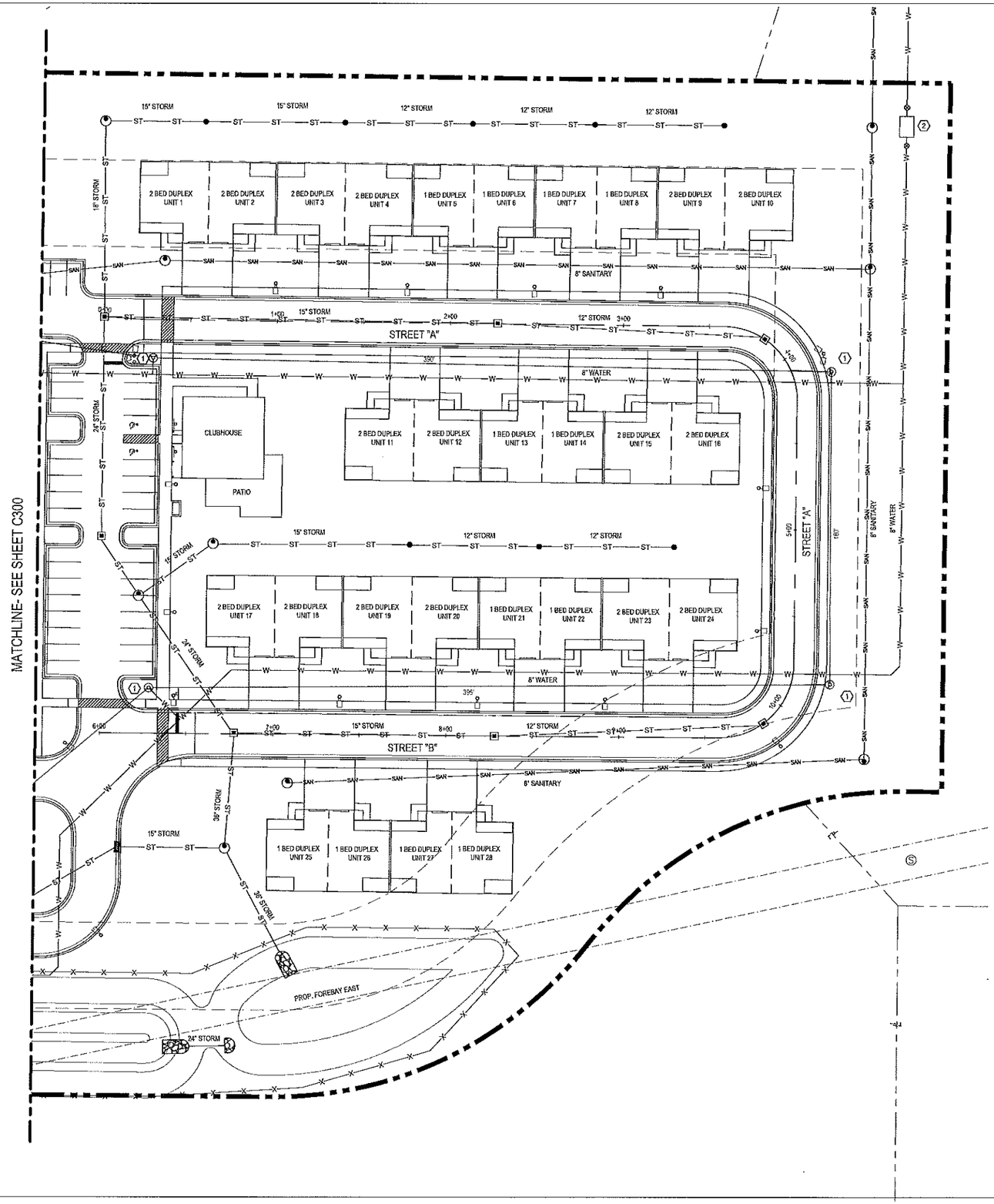
PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

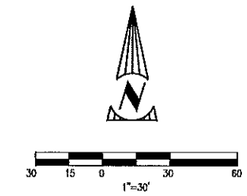
TRILOGY HEALTH CARE OF HOLLY

UTILITY PLAN
1 OF 2

C300

W:\Projects\Projects P-T\T1723071\CAD\BASE\C300-C301_Utility Plan.dwg - Last printed 8/15/2023 10:17 AM




## CODED NOTES

1. CONTRACTOR SHALL INSTALL FIRE HYDRANT PER TWP. CODE.
2. PROPOSED METER/ BACKFLOW VAULT

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 2023/8/14 | LCG | PLANNING COMMISSION SUBMITTAL |


20600 CHAGRIN BLVD
SUITE 500, SHAKER HEIGHTS, OH 44122
TEL: 216.378.1400
FAX: 216.378.1497


PROJECT DATE: 08/14/2023
PROJECT NO.: T17S0071
DRAWN BY: DJB/JCB
CHECKED BY: GLS


Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE EFFORT.
www.MannikSmithGroup.com


PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

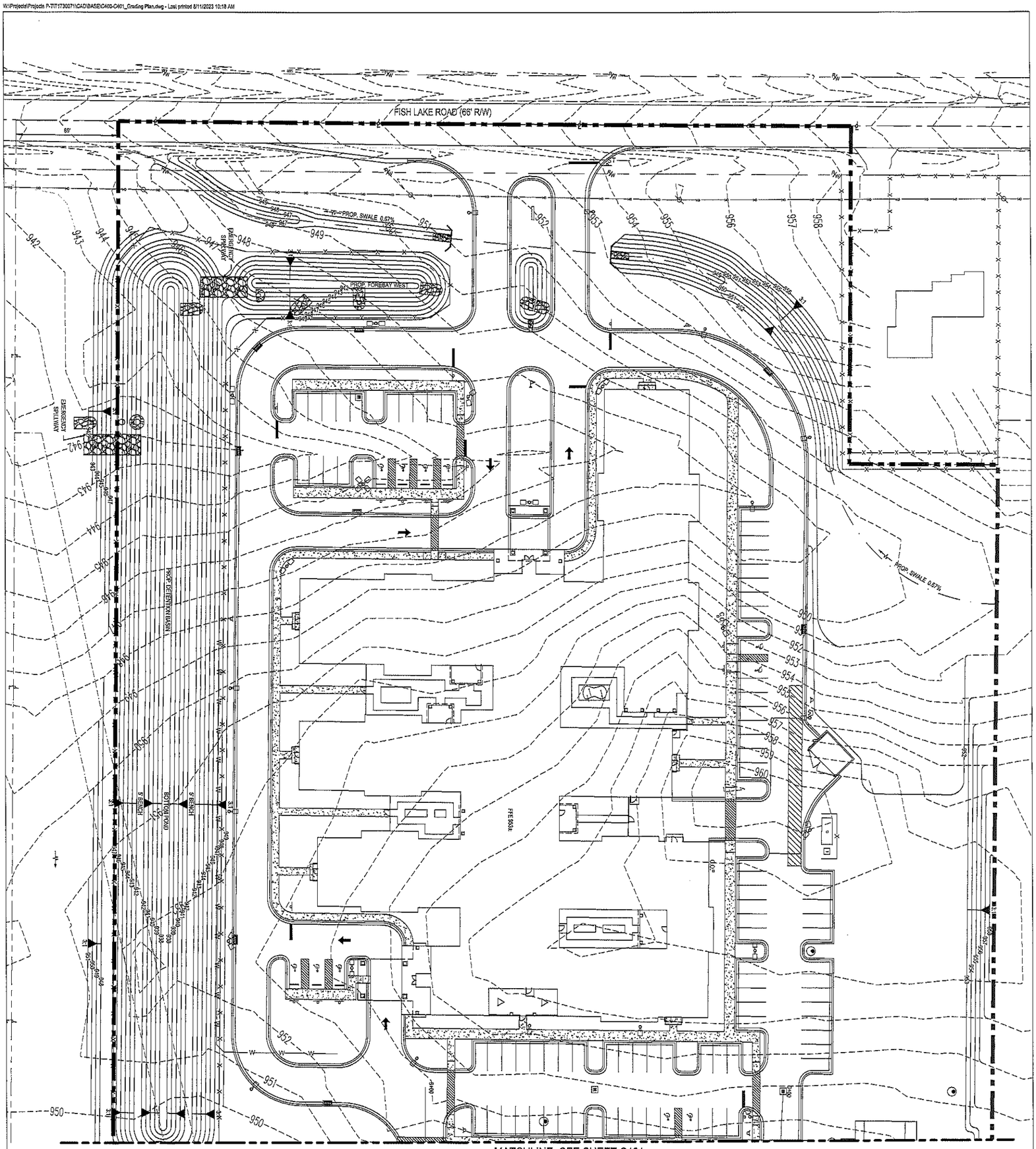
TRILOGY HEALTH CARE OF HOLLY

UTILITY PLAN
2 OF 2

C301

W:\Projects\Projects_F-T\T17S0071\CAD\BASE\C300-C301_Utility Plan.dwg - Last printed 8/11/2023 10:17 AM

W:\Projects\Projects P-T\T173007\1\CAD\BASE\C400-C401_Grading Plan.dwg - Last printed 8/11/2023 10:18 AM

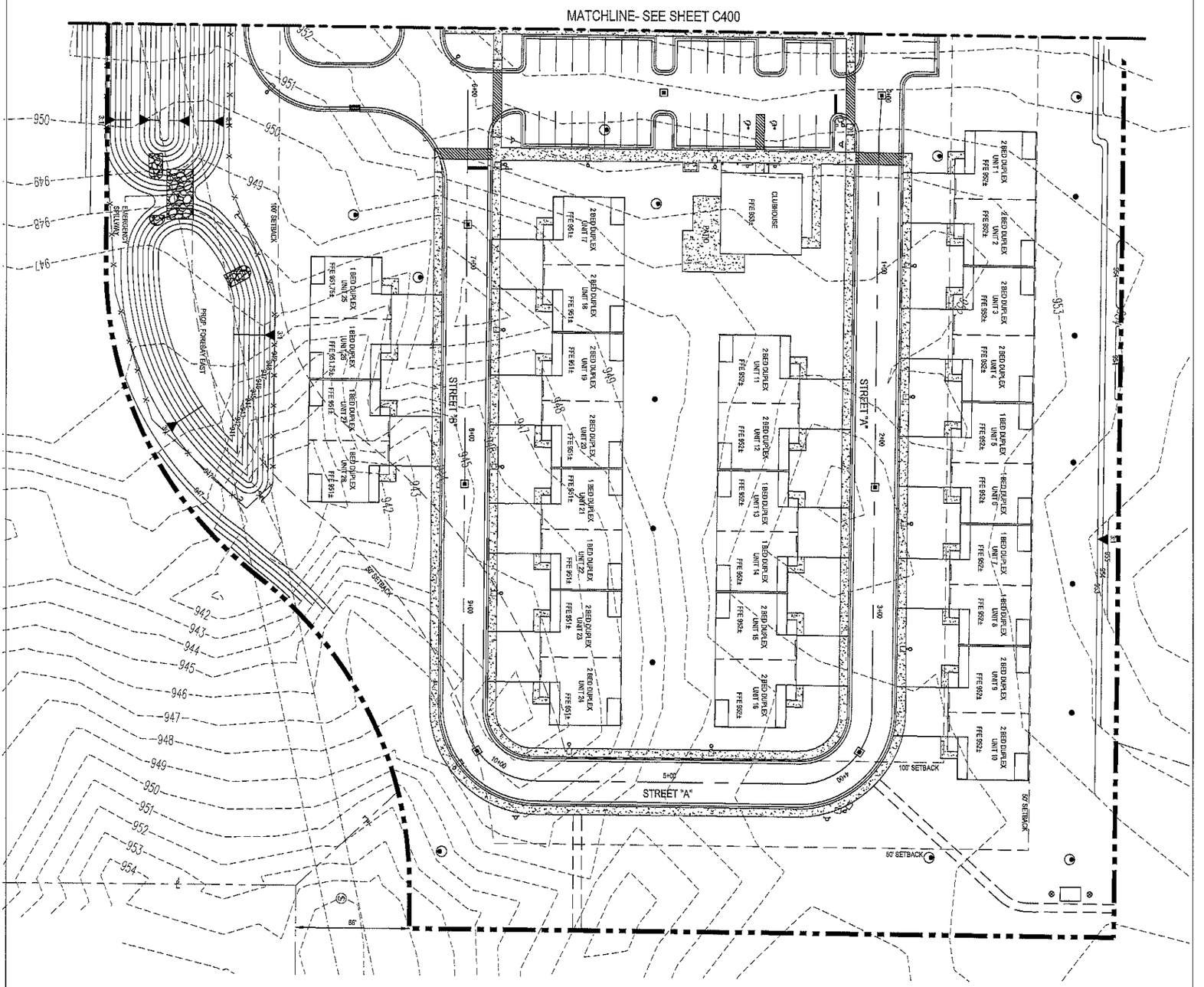


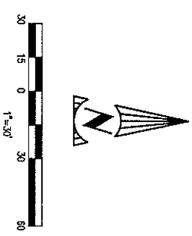

1"=30'

| C400 | GRADING PLAN 1 OF 2 | TRILOGY HEALTH CARE OF HOLLY | PREPARED FOR: TRILOGY HEALTH SERVICES, LLC 303 N. HURSTBOURNE PARKWAY LOUISVILLE, KY 40222 | Mannik Smith GROUP www.MannikSmithGroup.com TECHNICAL SKILL. CREATIVE SPIRIT. | 20600 CHAGRIN BLVD SUITE 600, SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497 PROJECT DATE: 05/14/2023 PROJECT NO.: T173007 DRAWN BY: DAB/JQG CHECKED BY: GLS |

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 2023-08-14 | JQG | PLANNING COMMISSION SUBMITTAL |

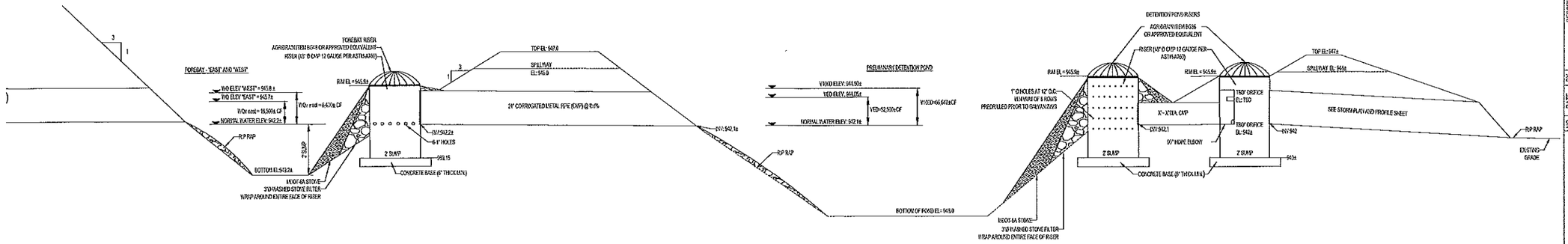
W:\Projects\Projects P-T\T1730071\CAD\BASE\C400-C401_Grading Plan.dwg - Last printed 6/11/2023 10:16 AM



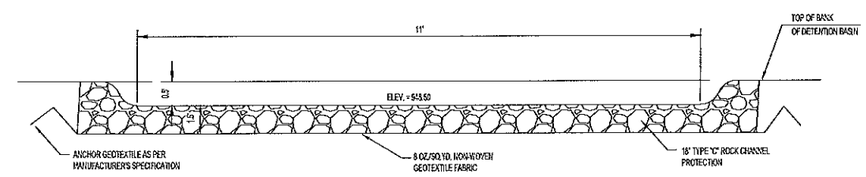

| C401 | GRADING PLAN 2 OF 2 | TRILOGY HEALTH CARE OF HOLLY | PREPARED FOR: TRILOGY HEALTH SERVICES, LLC 303 N. HURSTBOURNE PARKWAY LOUISVILLE, KY 40222 | Mannik Smith GROUP www.MannikSmithGroup.com TECHNICAL SKILL. CREATIVE SPIRIT. | 20600 CHAGRIN BLVD SUITE 500, SHAKER HEIGHTS, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497 PROJECT DATE: 05/14/2023 PROJECT NO.: T1730071 DRAWN BY: DAB/JGG CHECKED BY: GLS |
|---|---|---|---|---|---|

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 20230614 | JGG | PLANNING COMMISSION SUBMITTAL |




DRAFT - POST CONSTRUCTION STORMWATER BASIN

NOT TO SCALE




EMERGENCY SPILLWAY

NOT TO SCALE

| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 2022/09/14 | JCG | PLANNING COMMISSION SUBMITTAL |


20500 CHAGRIN BLVD
SUITE 200 SHAKER
HEIGHTS, OH 44122
TEL: 216.378.1490
FAX: 216.378.1497


PROJECT DATE: 08/14/2023
PROJECT NO.: T17S0071
DRAWN BY: DAB/JCG
CHECKED BY: GLS

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

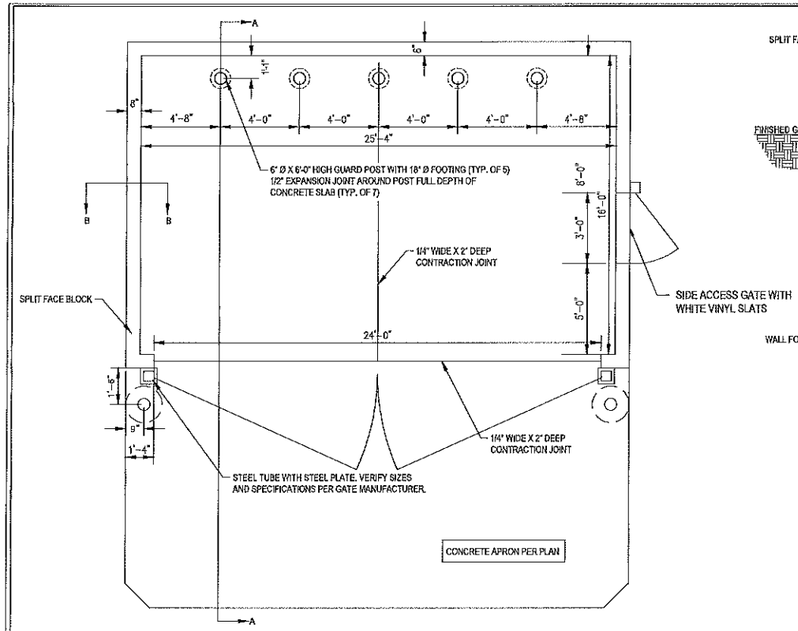
PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

TRILOGY HEALTH CARE OF HOLLY

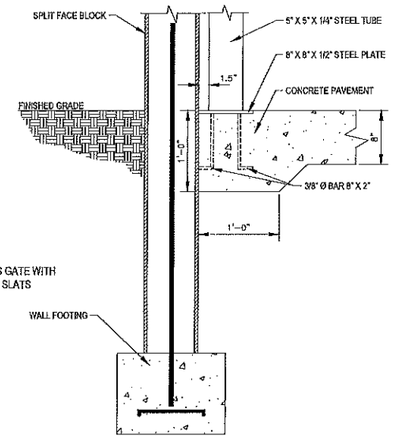
POND DETAILS

C402

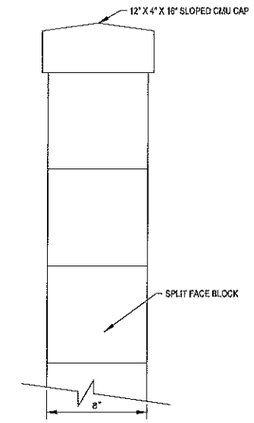
W:\Projects\Projects P-T\T17S0071\CAD\BASE\CA02_Pond Details.dwg - Last printed 9/11/2023 10:16 AM



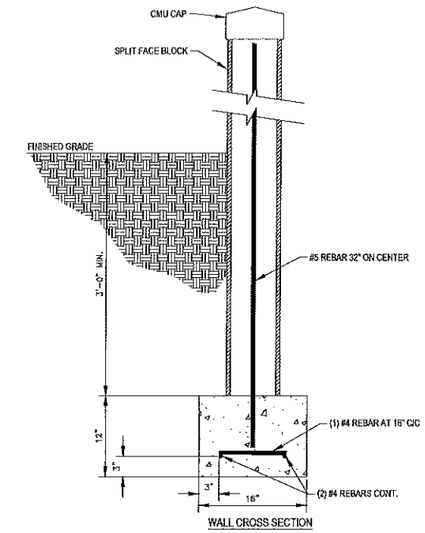

FOUNDATION PLAN



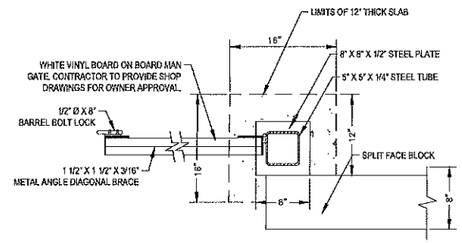

FENCE GATE CROSS SECTION



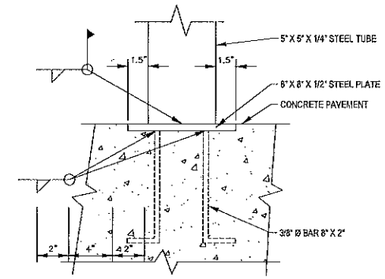

COPING DETAIL - SECTION B-B



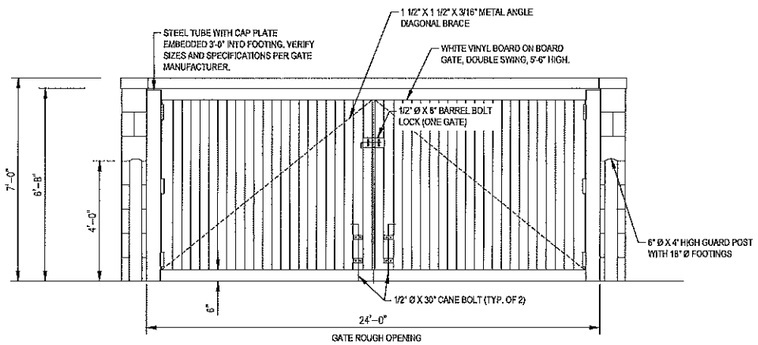

WALL CROSS SECTION



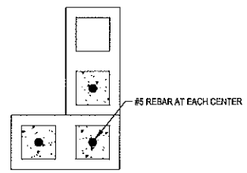

JAMB DETAIL



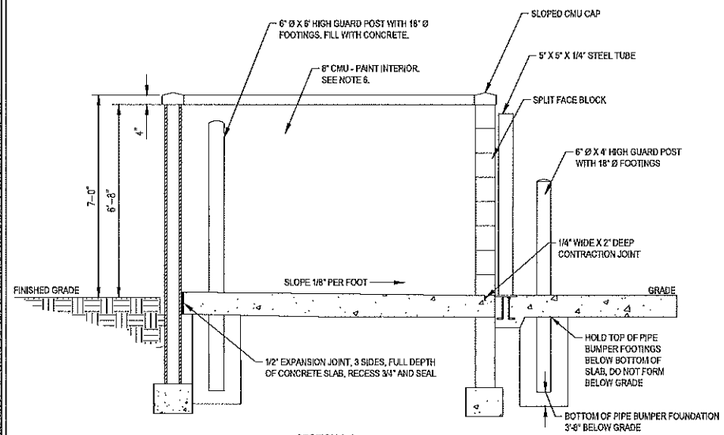

FENCE GATE POST DETAIL



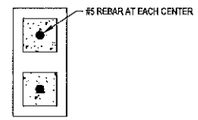

ELEVATION - FRONT




REINFORCEMENT AT END OF MASONRY WALL



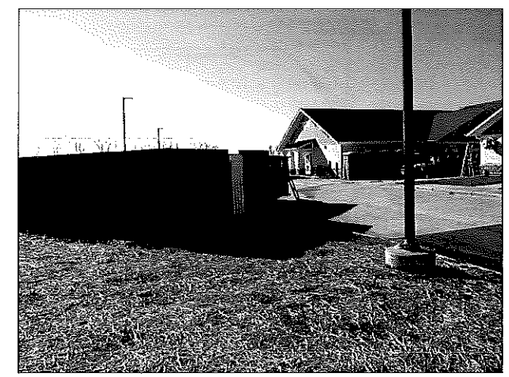

SECTION A-A




REINFORCEMENT AT JAMB

GENERAL NOTES:

1. LADDER TYPE REINFORCEMENT TO BE PLACED BETWEEN THE FIRST TWO COURSES ABOVE THE FOOTING, EVERY OTHER COURSE THEREAFTER, AND BETWEEN THE LAST TWO COURSES AT THE TOP OF THE MASONRY. REINFORCEMENT SHALL NOT BE CONTINUOUS THROUGH CONTROL JOINTS.
2. GROUT ALL CMU CELLS BELOW GRADE. GROUT ONLY CELLS WITH REBAR ABOVE GRADE.
3. CONTRACTOR TO PROVIDE CUT SHEET OF SPLIT FACE BLOCK, TO OWNER AND ENGINEER PRIOR TO ORDERING. COLOR TO BE SELECTED BY OWNER.
4. REFER TO GRADING PLAN FOR PAVEMENT ELEVATIONS.
5. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF PEDESTRIAN AND SWING GATES TO PROJECT ENGINEER AND OWNER PRIOR TO ORDERING.
6. TREAT DUMPSTER ENCLOSURE INTERIOR WITH SHERWIN WILLIAMS PREP RITE LATEX BLOCK FILLER OR APPROVED EQUAL. PAINT WITH SHERWIN WILLIAMS EXTERIOR SUPER PAINT IN SATIN FINISH, COLOR SWT599 BRICK PAVER, OR APPROVED EQUAL. CONTRACTOR TO PROVIDE PAINT. SAMPLE TO OWNER PRIOR TO ORDERING.
7. ALL BOLLARDS TO BE COVERED WITH A YELLOW - 7" DOME TOP BOLLARD COVER OR APPROVED EQUAL.
8. CONTRACTOR SHALL PROVIDE CUT SHEET OF VINYL DOUBLE SWING GATE AND SIDE ACCESS GATE SLATS TO BE INSTALLED ON OUTSIDE OF GATE.



| NO. | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 1 | 2022-08-14 | JCG | PLANNING COMMISSION SUBMITTAL |

20600 CHAGRIN BLVD
SUITE 500, SHAKER HEIGHTS, OH 44122
TEL: 216.378.1400
FAX: 216.378.1497

PROJECT DATE: 08/14/2022
PROJECT NO: 1173/3071
DRAWN BY: DAB/JCG
CHECKED BY: GLS

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
TRILOGY HEALTH SERVICES, LLC
303 N. HURSTBOURNE PARKWAY
LOUISVILLE, KY 40222

TRILOGY HEALTH CARE OF HOLLY

DUMPSTER ENCLOSURE DETAILS

C403